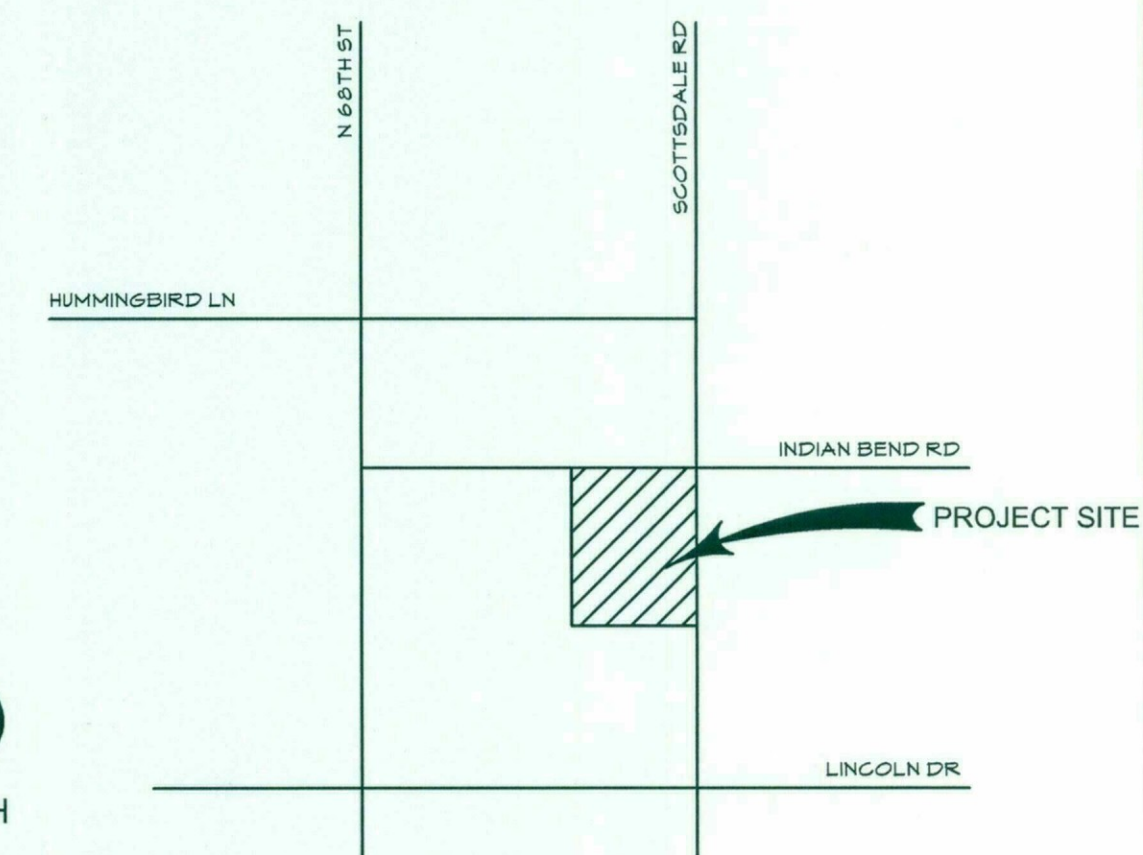


VICINITY MAP



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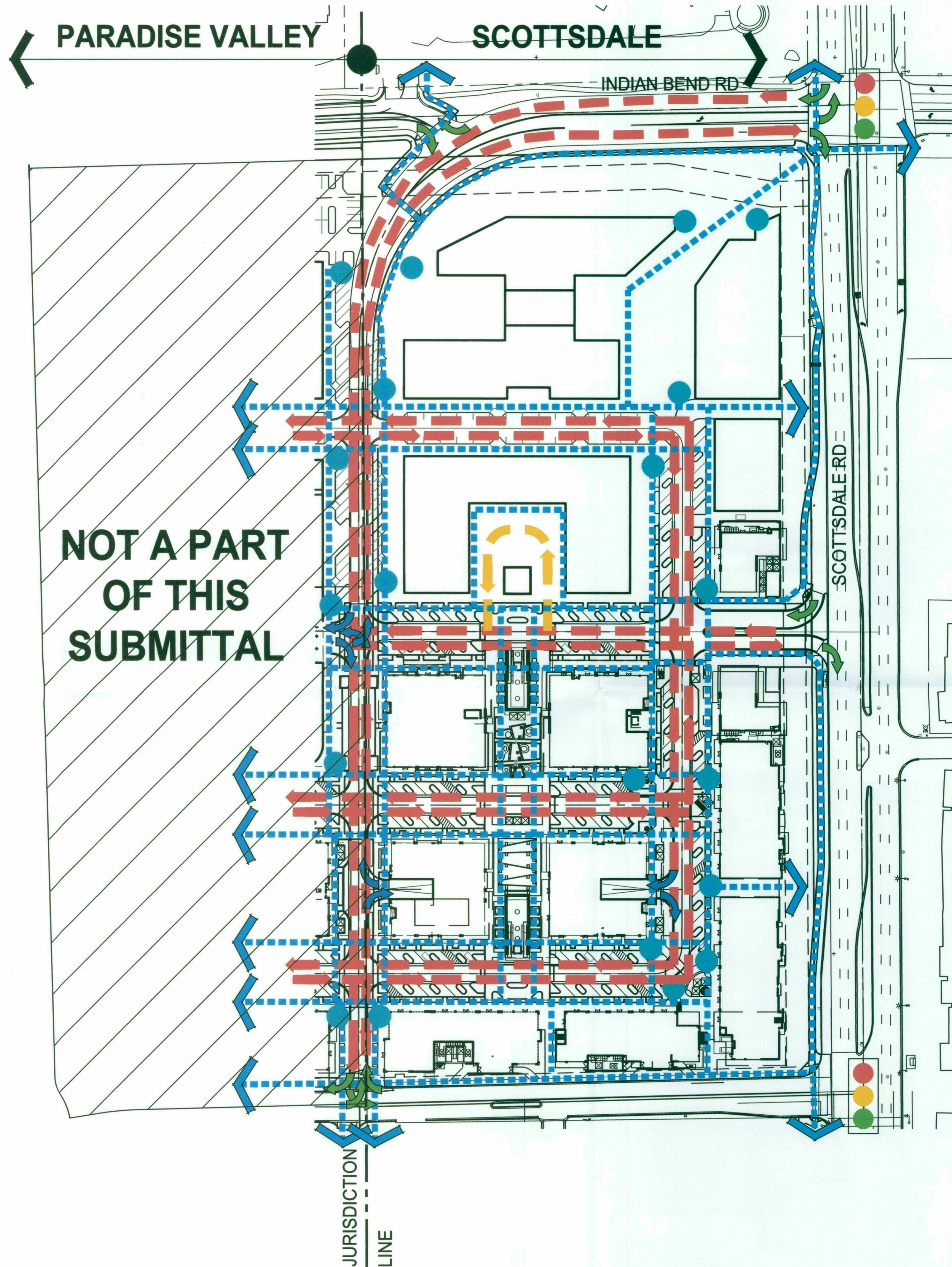
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315033

A102
PHASING PLAN

7-ZN-2016
6/30/2016



LEGEND

- OFF-SITE ENTRY / EXIT
- PARKING GARAGE ENTRY / EXIT
- TWO-WAY STREET
- ONE-WAY STREET
- PEDESTRIAN CIRCULATION
- BICYCLE PARKING

0 80' 160'



01

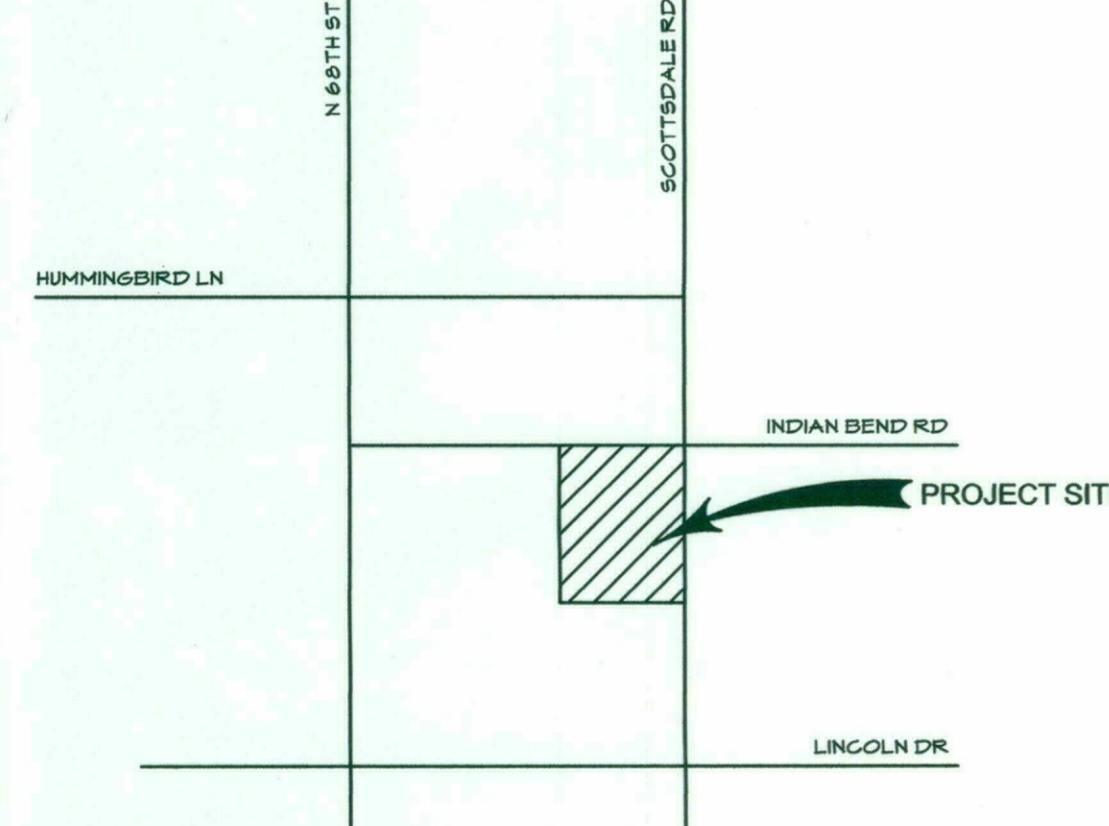
PEDESTRIAN AND VEHICLE CIRCULATION PLAN

SCALE: 1"=80'

REF:



VICINITY MAP



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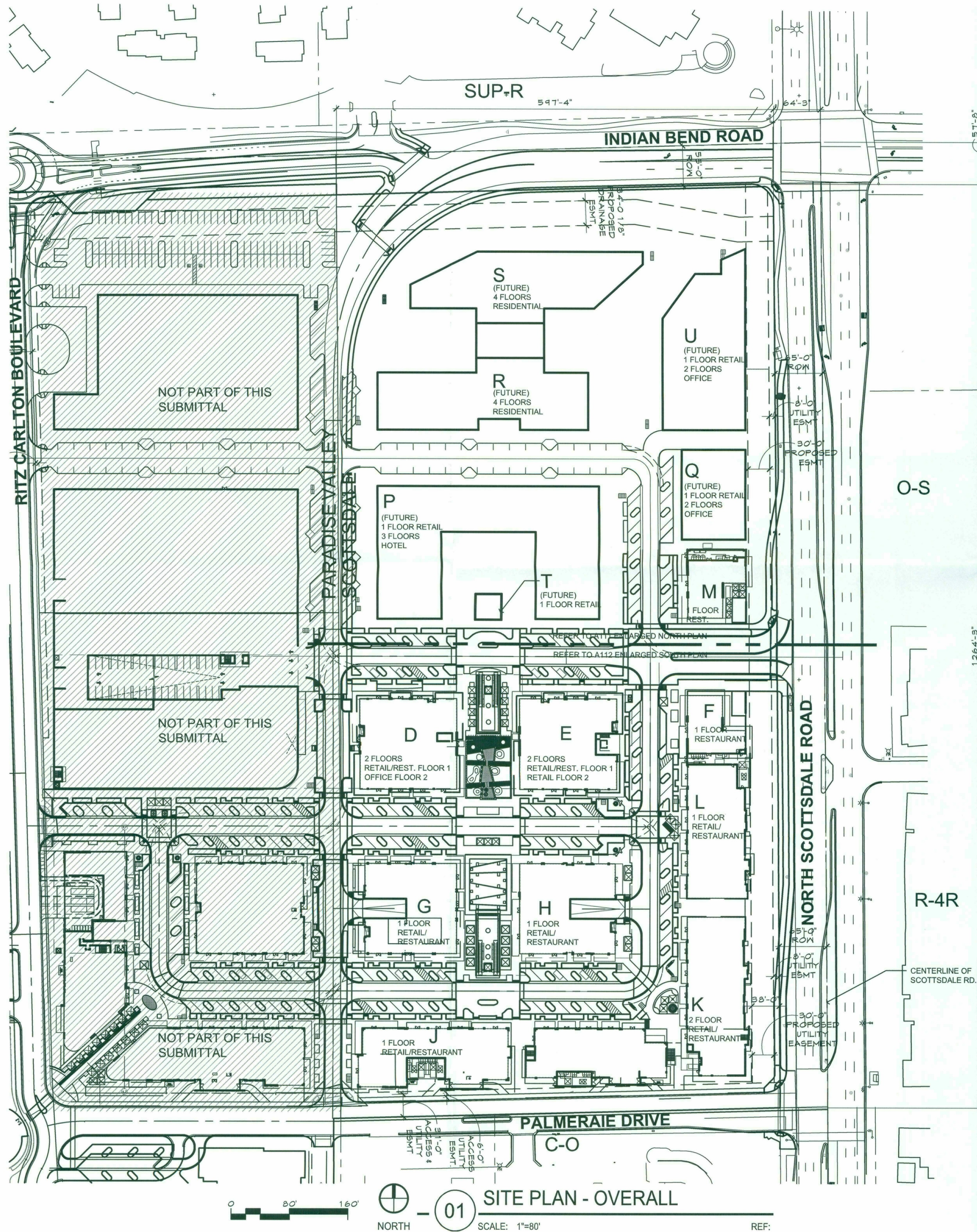
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A103

PEDESTRIAN AND VEHICLE CIRCULATION PLAN

7-ZN-2016
6/30/2016



PROJECT DATA

PROJECT PROPOSED USES: RETAIL/RESTAURANT/OFFICE

Zoning
Scottsdale: Current: R-4R Proposed: PRC

Building Height Allowed
Scottsdale: 60'

Development Plan Gross Lot Area: 20.125 AC / 876,651 SF
Development Plan Net Lot Area: 17.396 AC / 757,787 SF

Construction Type : IIIB

BUILDING AREA TABULATIONS PHASE I AND II

PHASE	BUILDING	GBA (sf)	NET RETAIL (sf)	NET REST. (sf)	NET OFFICE (sf)	NET TOTAL (sf)	HOTEL (sf)	RESIDENTIAL (sf)
Ph I	Building D	16,465	9,424	3,901	15,395	28,720		
	Ground	16,465						
	Second	15,473						
Ph I	Building E	15,823	12,728	1,527		26,854		
	Ground	15,823						
	Second	12,784						
Ph I	Building F	4,990	8,792	3,380		12,172		
	Ground	4,990						
	Second	28,607						
Ph I	Building G	14,223	12,555	708		13,263		
	Ground	14,223						
	Second	14,577						
Ph I	Building H	14,173	13,067			13,067		
	Ground	14,173						
	Second	30,250						
Ph II	Building L	17,530	8,905	4,990		37,377		
	Ground	17,530						
	Second	47,780						
Ph II	Building M	14,322	8,905			8,905		
	Ground	14,322						
	Second	4,990						
Phase I Total:		175,610 GSF	111,929 NSF	23,014 NSF	15,395 NSF	151,617 NSF	-	-
Ph II	Building P	166,948	33,064 GSF			133,884 GSF (150 Units)		
	Building Q	40,509						
	Building R	82,933						
Ph II	Building S	86,497	900 GSF					82,933 GSF (55 Units)
	Building T	900						
	Building U	54,990						
Phase II Total:		432,777 GSF	65,797 GSF	-	27,006 GSF	133,884 GSF	-	169,430 GSF
Phase I&II Total:		608,387 GSF	177,726 GSF	23,014 GSF	42,401 GSF	151,617 GSF	133,884 GSF	169,430 GSF

PARKING CALCULATIONS - PHASE 1

Required Spaces : (1 per 325 GSF)		175,610/325=	541 cars
Provided Spaces :			
Surface	538		
Basement Level One (B1)	511		
Basement Level Two (B2)	126		
Provided Total:	1,175 cars		
GROSS PARKING AREAS			
Basement Level One:	240,728 sf		
Basement Level Two:	61,344 sf		
Total Below Grade Parking Area:	302,072 sf		

Accessible Parking

Required :	4% of required parking	21
Provided :		21
Van Accessible :		
1 per 6 required accessible spaces = 4 of the required accessible spaces		
Approximately half of the accessible spaces are distributed throughout the surface parking areas, and the other half is located on B1 adjacent the elevator lobbies.		

SEE SHEET A120 FOR OPEN SPACE AND SURFACE PARKING AREAS

Bicycle Parking (Entire Project - Phase 1 & 2)

Required:	1/10 required parking cars
Max. Required:	100
Provided:	100

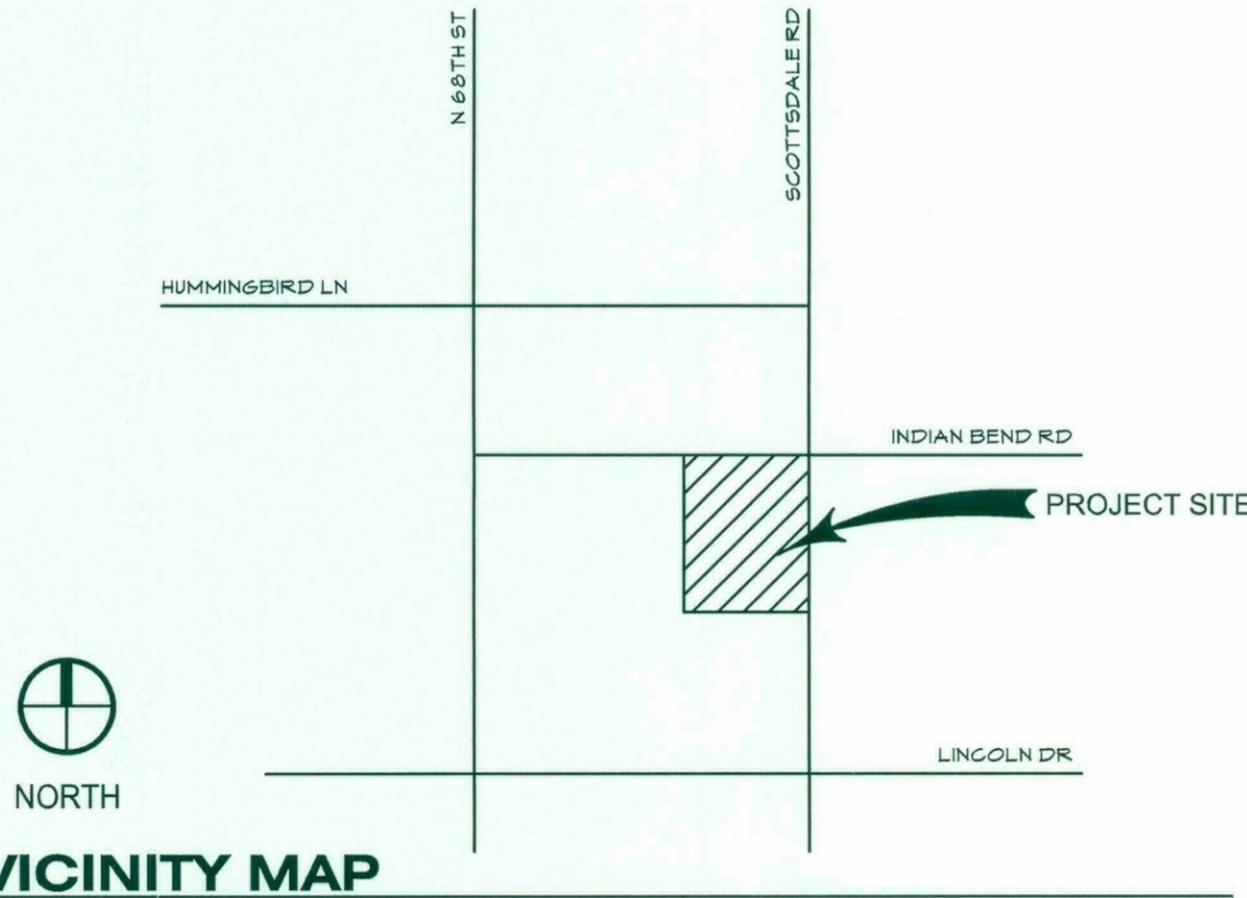
541 / 10 = 55 bike spaces required in Phase 1.

PHASE II

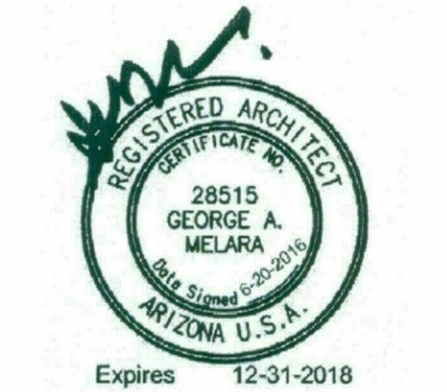
PARKING FOR FUTURE PHASE II WILL BE DESIGNED TO MEET OR EXCEED THE MINIMUM REQUIREMENTS FOR THE BUILDING AREAS ON PHASE II.

NOTES

- UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6" WILL BE MAINTAINED FOR ALL ROADS (FIRE ORDINANCE 4045.503.2.1)
- FDCS AND FIRE RISER ROOMS ARE LOCATED AT EACH BUILDING AS NOTED



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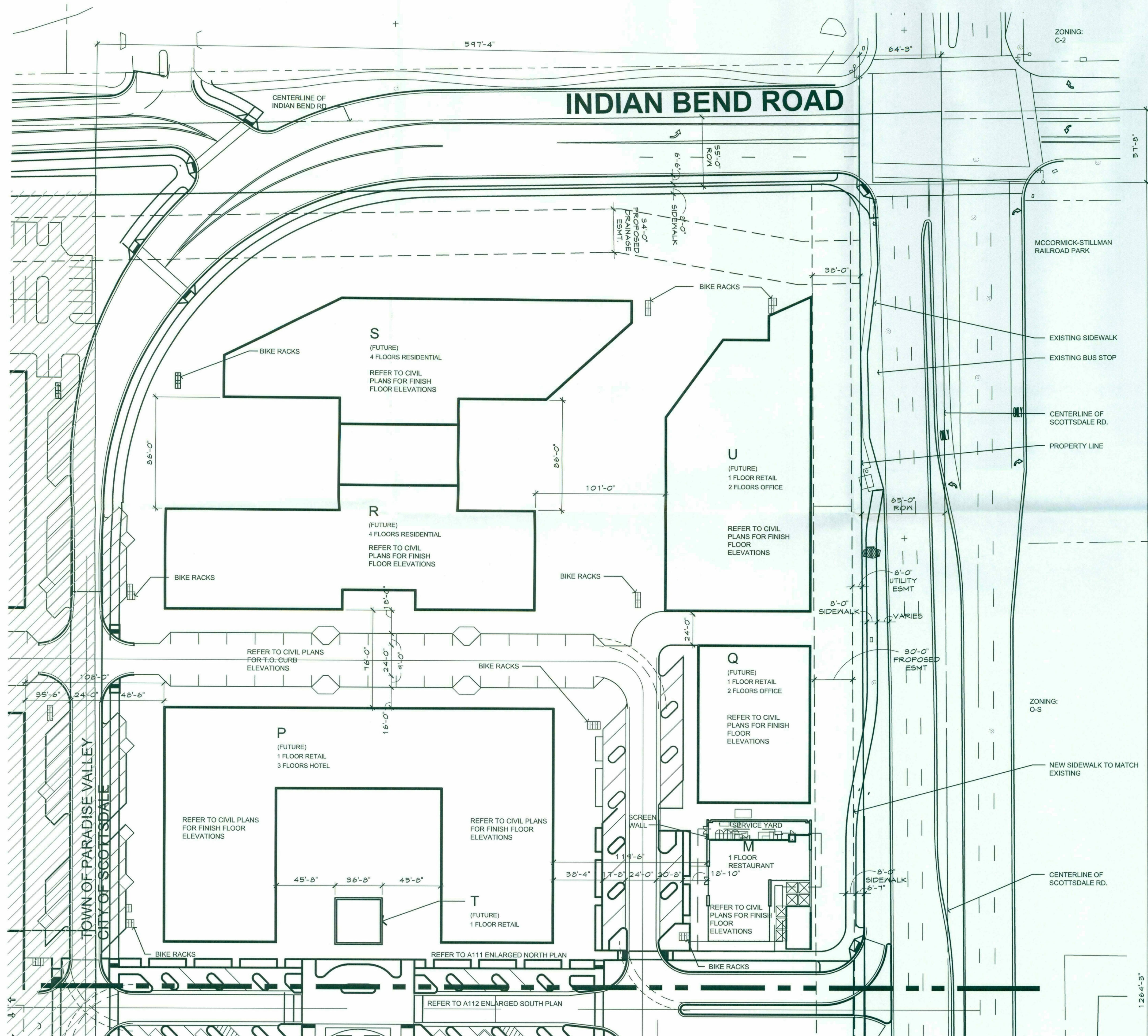
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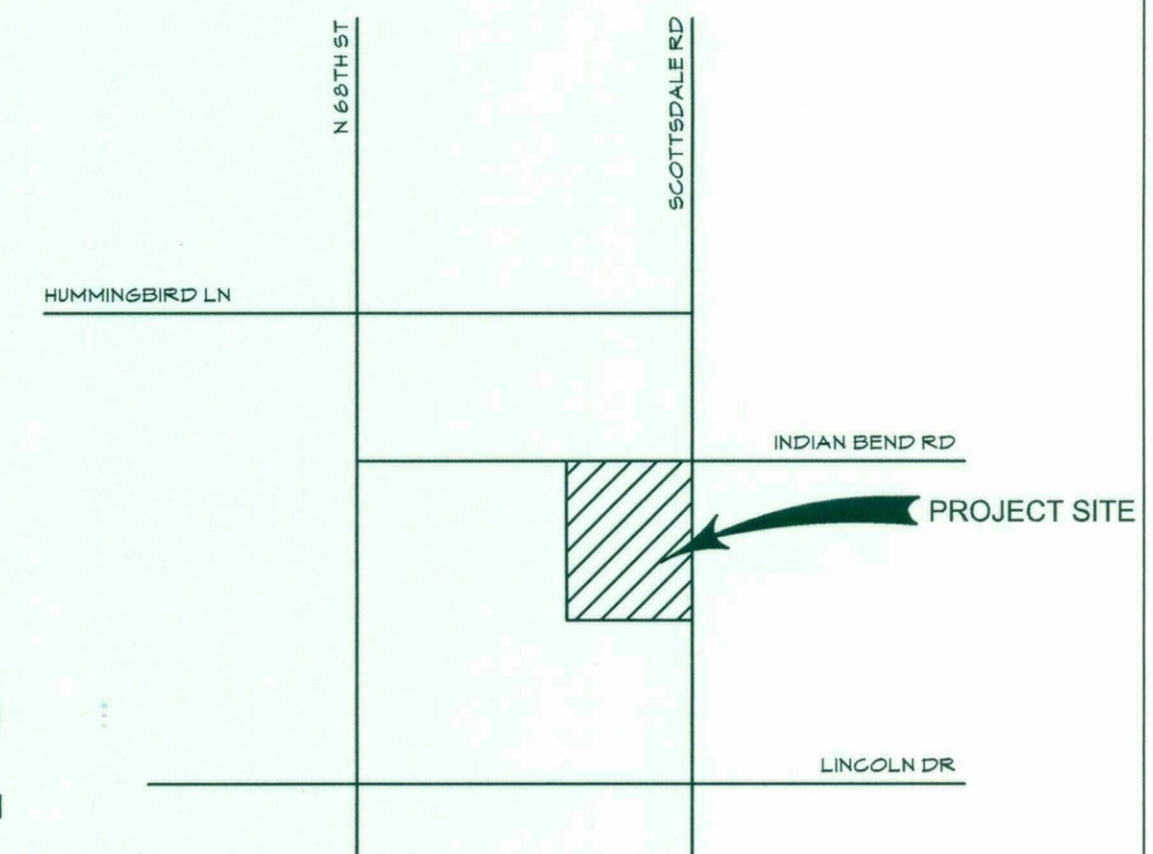
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A110
SITE PLAN - OVERALL

7-ZN-2016
6/30/2016



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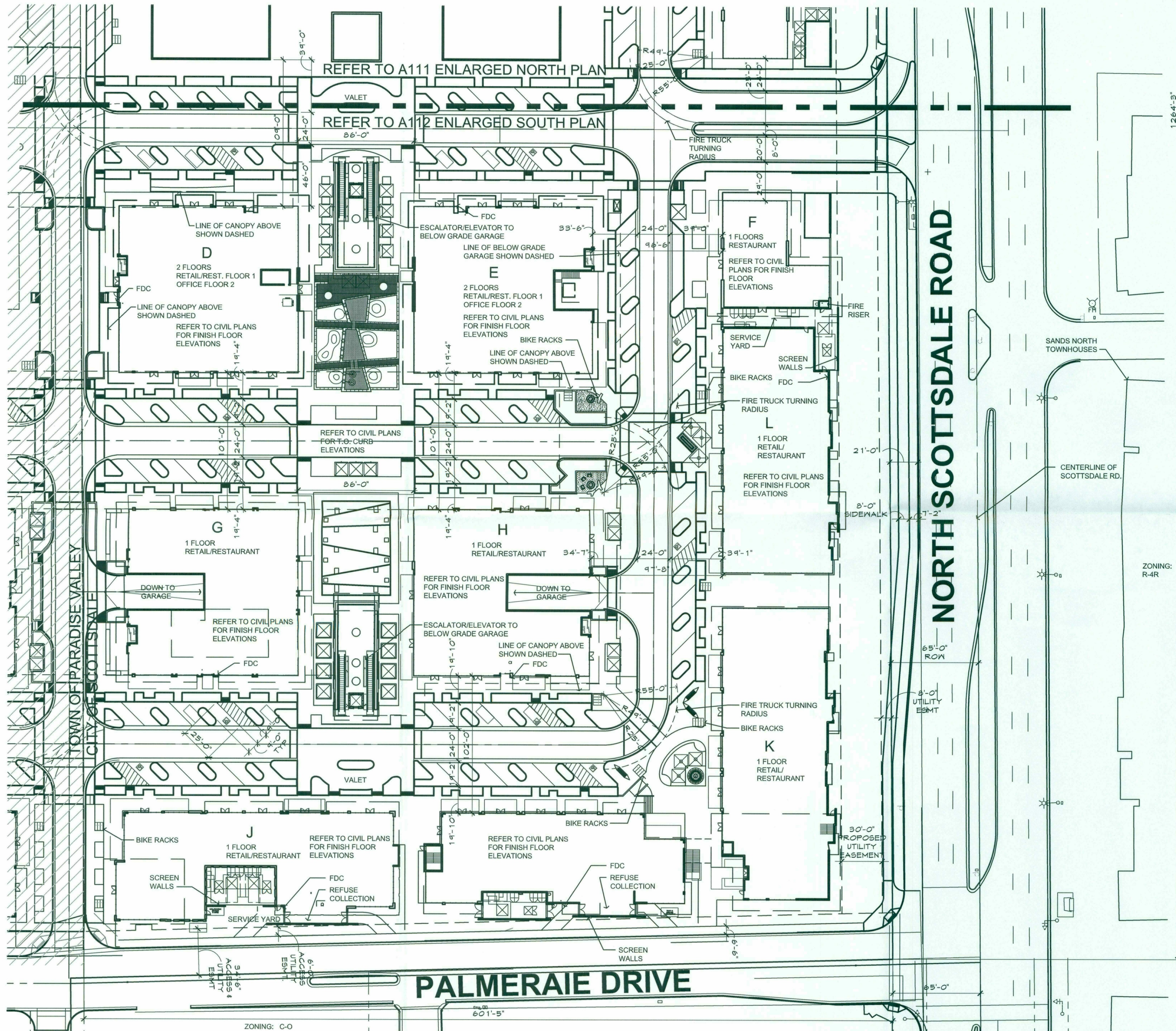
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A112
SITE PLAN - PHASE I
ENLARGED SOUTH PLAN
7-ZN-2016
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01

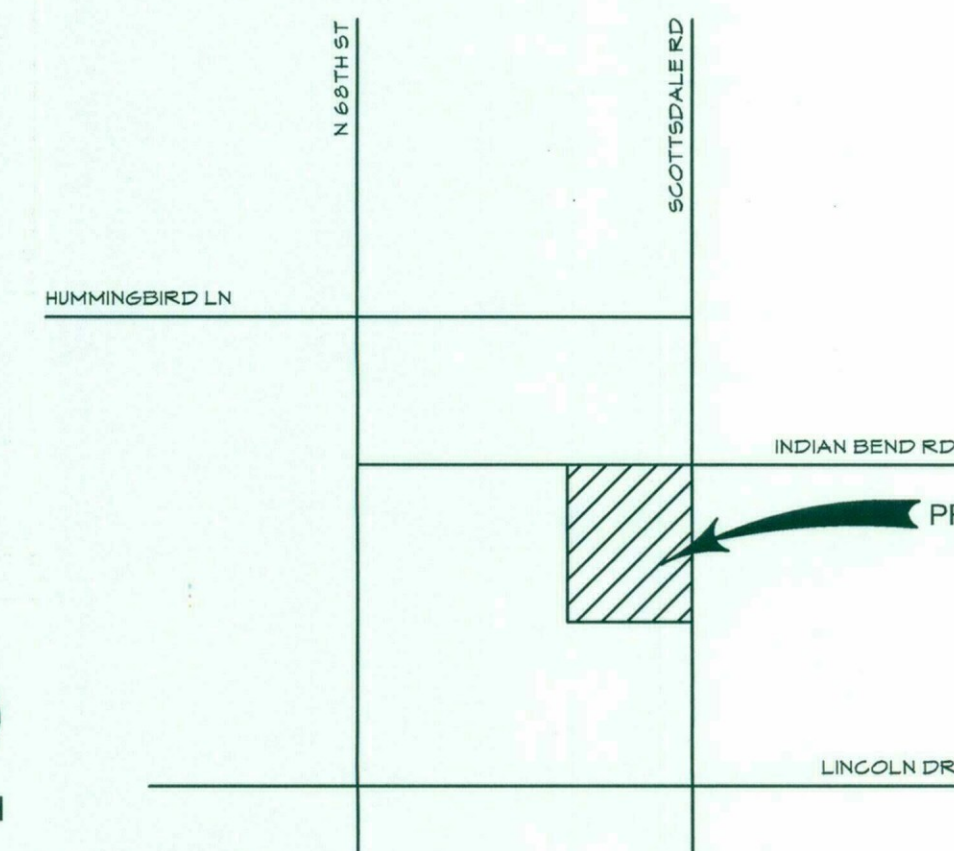
PHASE I
SITE PLAN - ENLARGED SOUTH PLAN

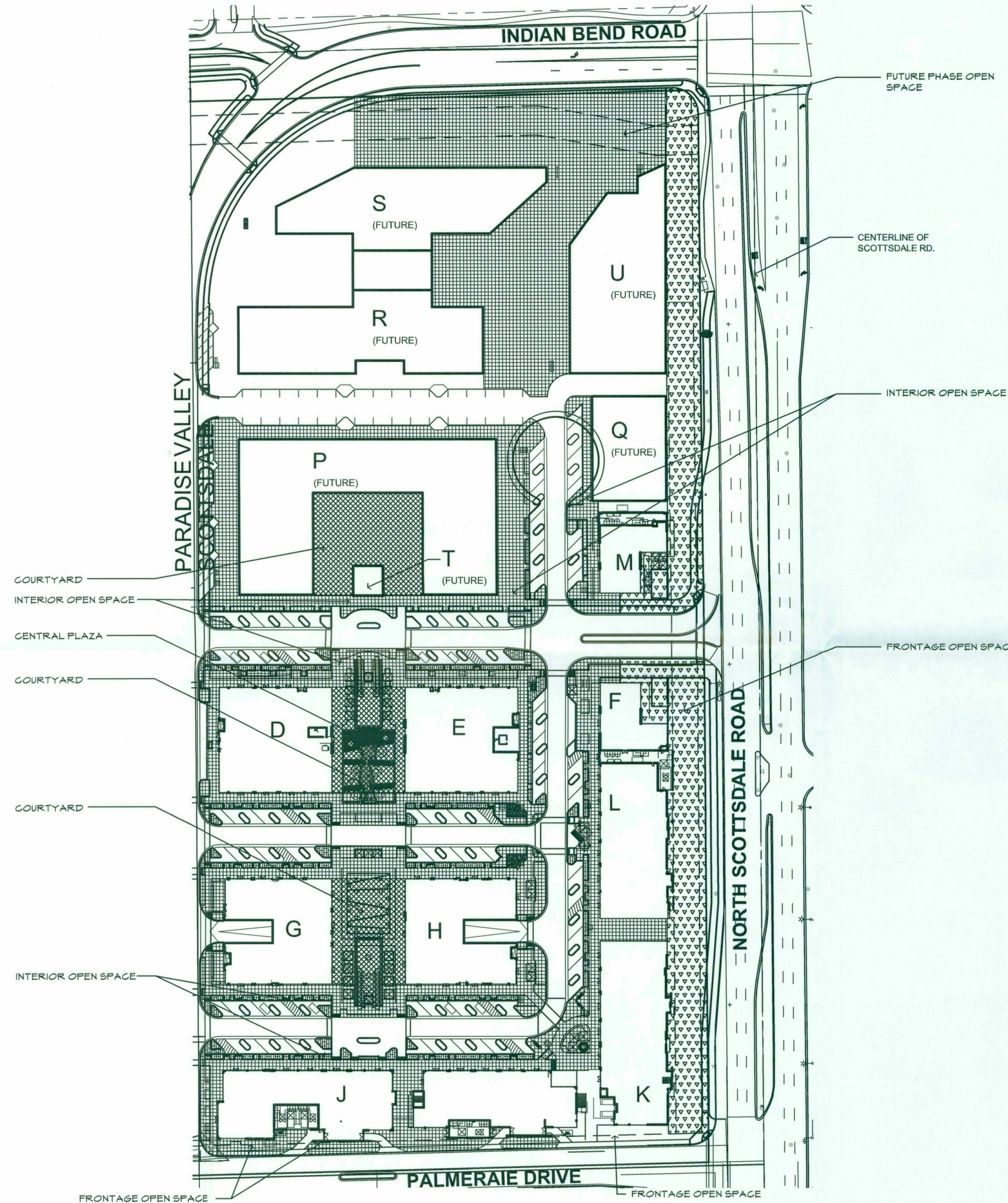
SCALE: 1"=40'

REF:



VICINITY MAP





01 OPEN SPACE PLAN
SCALE: 1"=80'
NORTH

PROJECT DATA

PROJECT PROPOSED USES: RETAIL/RESTAURANT/OFFICE

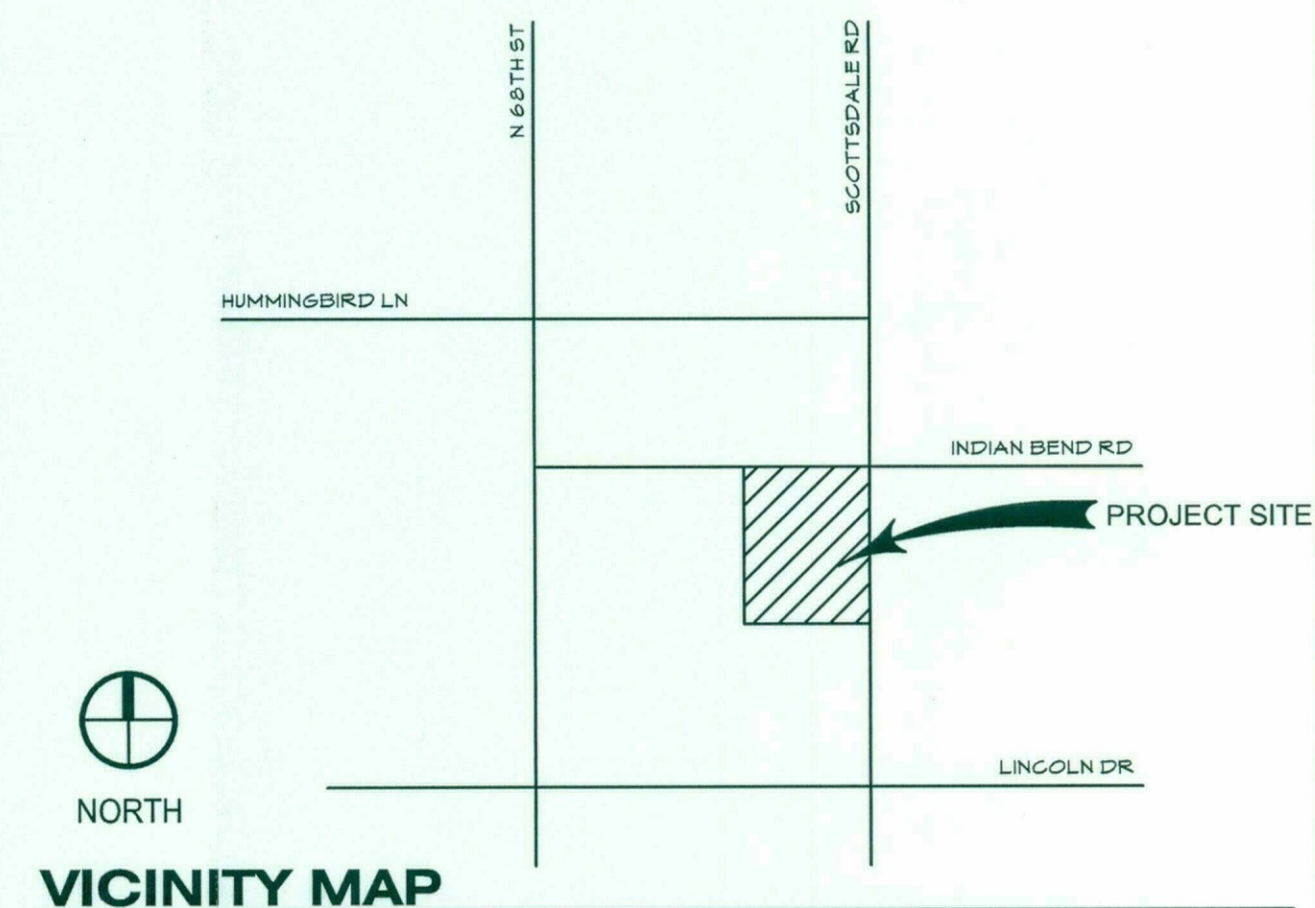
Zoning	Scottsdale:	Current: R-4R	Proposed: PRC
Building Height Allowed	Scottsdale:	60'	
Development Plan Gross Lot Area:	20.125 AC / 876,651 SF		
Development Plan Net Lot Area:	17.396 AC / 757,787 SF		
Construction Type :	IIIB		

OPEN SPACE CALCULATIONS:

Open Space Required:	
First 12'	= 10% x Net Lot = .1 x 757,787 sf = 75,779 sf
Next 36'	= 36 x .004 x 757,787 sf = 109,121 sf
Total Required	= 184,900 sf
Open Space Provided:	
Front Open Space:	
Required	= .25 x Open Space Required = .25 x 184,900 sf = 46,225 sf
Provided	= 54,902 sf
Courtyard Open Space:	
Required	= .01 x Net Lot Area = .01 x 757,787 = 7,577.87 sf
Provided	= 35,949 sf
Open Space other than Frontal Open Space and Courtyard Open Space:	
Provided:	= 175,756 sf
Total Open Space Provided:	266,607 sf

KEY:

- Front Open Space
- Open Space Other than Frontal Open Space
- Parking Lot Landscaping
- Courtyard Open Space



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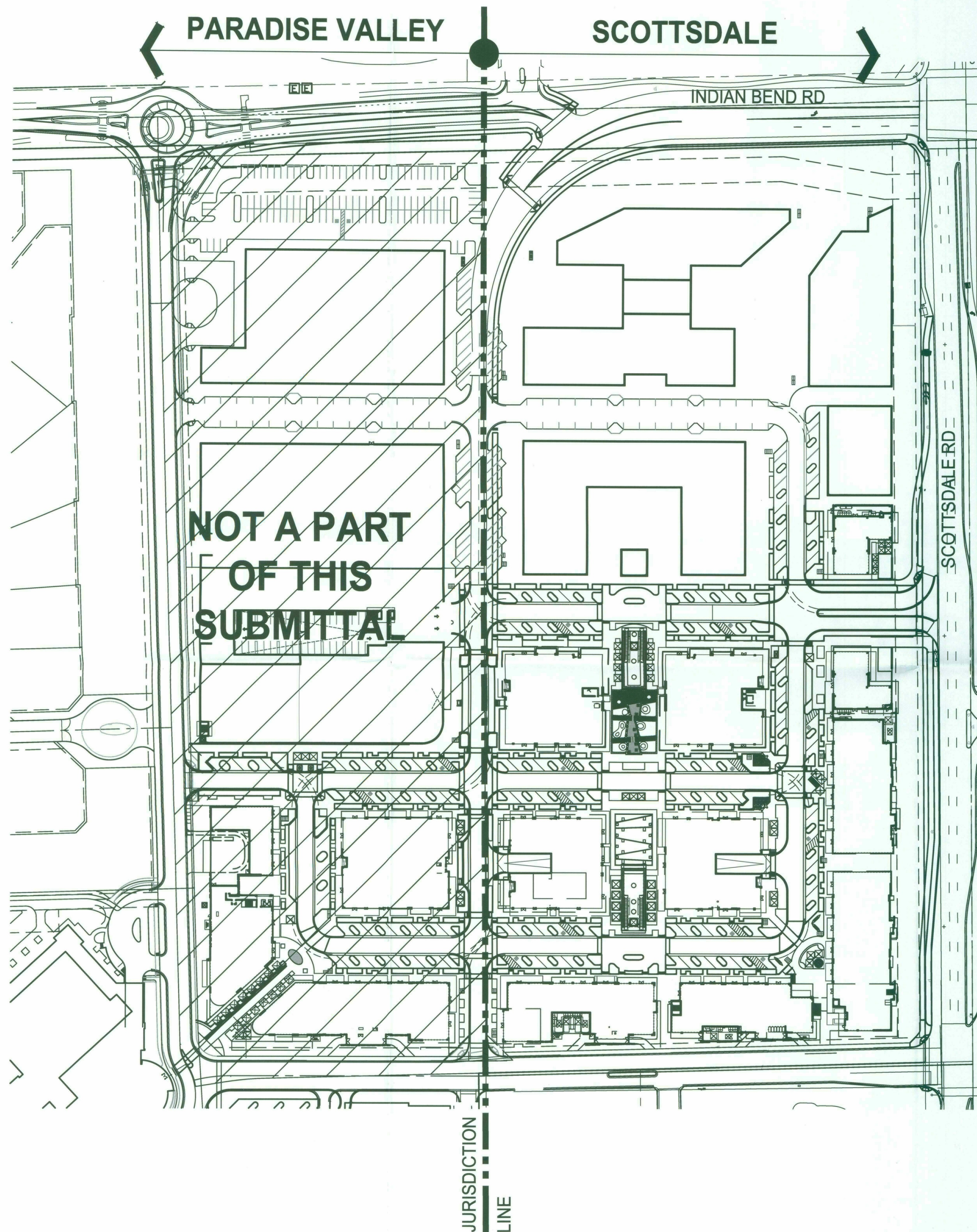
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A120
OPEN SPACE PLAN

7-ZN-2016
6/30/2016



PARKING CALCULATIONS - PHASE 1

Required Spaces : (1 per 325 GSF)	
175,610/325=	541 cars
Provided Spaces :	
Surface	538
Basement Level One (B1)	511
Basement Level Two (B2)	126
Provided Total:	1,175 cars
GROSS PARKING AREAS	
Basement Level One:	240,728 sf
Basement Level Two:	61,344 sf
Total Below Grade Parking Area:	302,072 sf

SEE SHEET A120 FOR OPEN SPACE AND SURFACE PARKING AREAS

PHASE II

PARKING FOR FUTURE PHASE II WILL BE DESIGNED TO MEET OR EXCEED THE MINIMUM REQUIREMENTS FOR THE BUILDING AREAS ON PHASE II.

NOTES

- UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6" WILL BE MAINTAINED FOR ALL ROADS (FIRE ORDINANCE 4045.503.2.1)
- FDCS AND FIRE RISER ROOMS ARE LOCATED AT EACH BUILDING AS NOTED

Accessible Parking

Required :	4% of required parking	21
Provided :		21

Van Accessible :
1 per 6 required accessible spaces = 4
of the required accessible spaces

Approximately half of the accessible spaces are distributed throughout the surface parking areas, and the other half is located on B1 adjacent the elevator lobbies.

Bicycle Parking (Entire Project - Phase 1 & 2)

Required:	1/10 required parking cars
Max. Required:	100
Provided:	100

541 / 10 = 55 bike spaces required in Phase 1.

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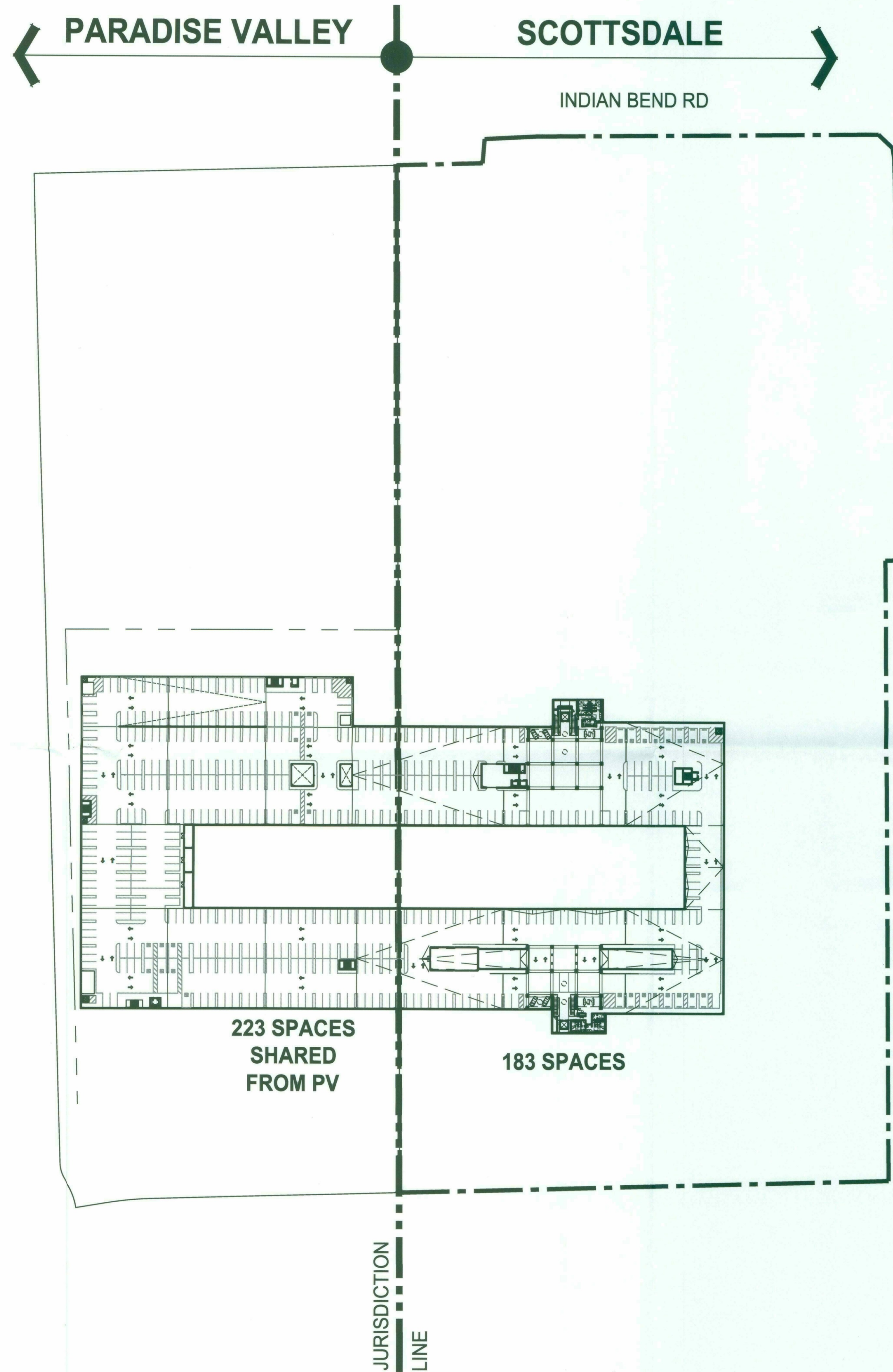
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A130

PARKING PLAN - SURFACE

7-ZN-2016
6/30/2016



PARKING CALCULATIONS - PHASE 1

Required Spaces : (1 per 325 GSF)	541 cars
175,610/325=	
Provided Spaces :	
Surface	538
Basement Level One (B1)	511
Basement Level Two (B2)	126
Provided Total:	1,175 cars
GROSS PARKING AREAS	
Basement Level One:	240,728 sf
Basement Level Two:	61,344 sf
Total Below Grade Parking Area:	302,072 sf

SEE SHEET A120 FOR OPEN SPACE AND SURFACE PARKING AREAS

Accessible Parking

Required :	4% of required parking	21
Provided :		21

Van Accessible :
1 per 6 required accessible spaces = 4
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Approximately half of the accessible spaces are distributed throughout the surface parking areas, and the other half is located on B1 adjacent the elevator lobbies.

Bicycle Parking (Entire Project - Phase 1 & 2)

Required:	1/10 required parking cars
Max. Required:	100
Provided:	100

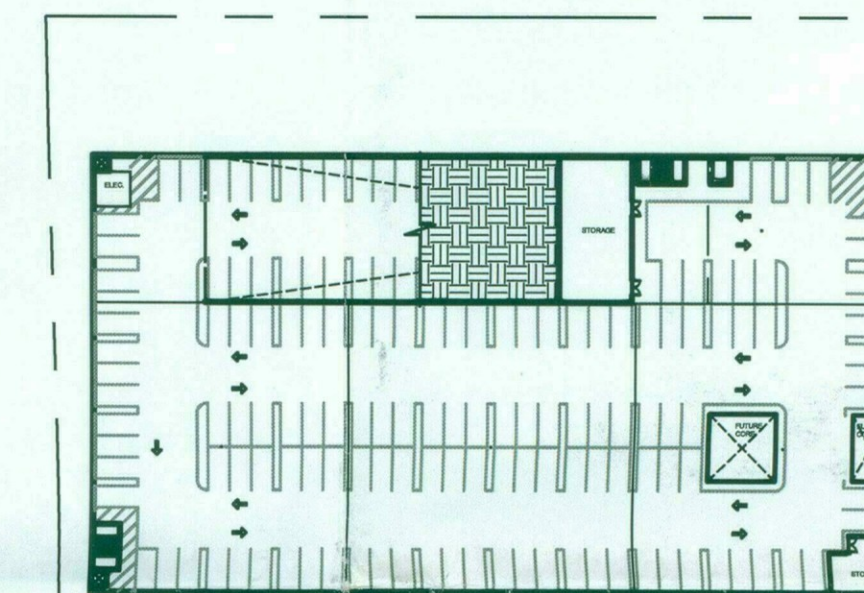
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PHASE II

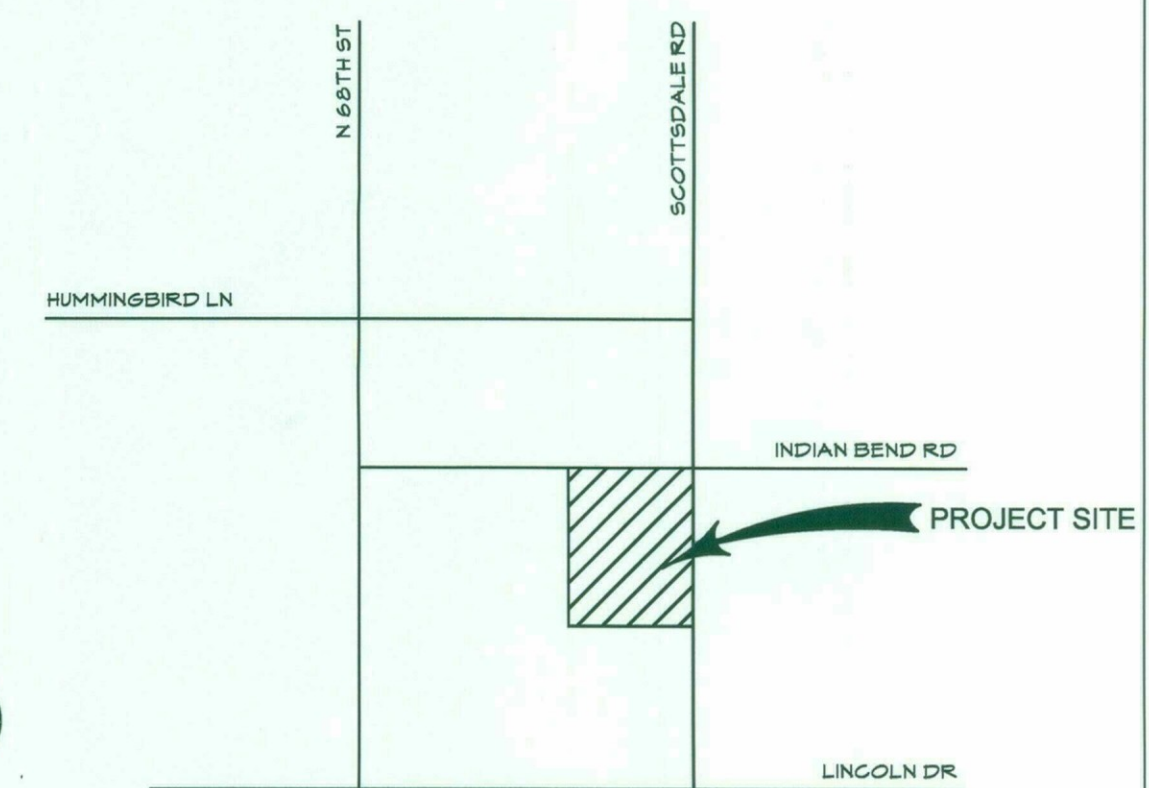
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01 PARKING PLAN - B2 LEVEL
SCALE: 1"=80'
REF:



VICINITY MAP

01 PARKING PLAN - B1 LEVEL
SCALE: 1"=80'
REF:

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PARKING PLAN - B1&B2 LEVEL

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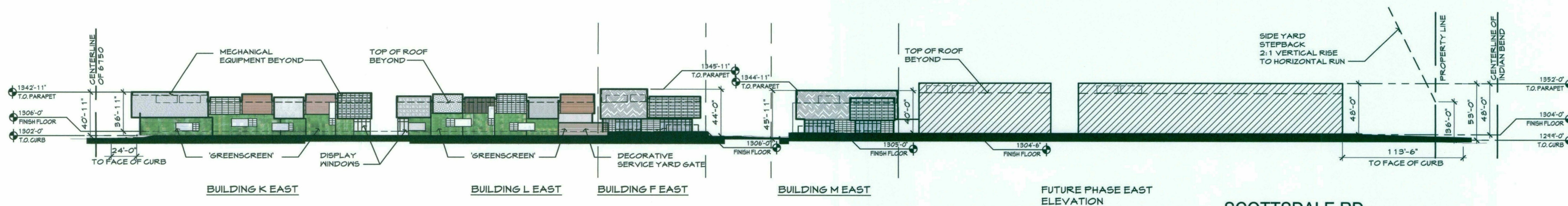
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A300

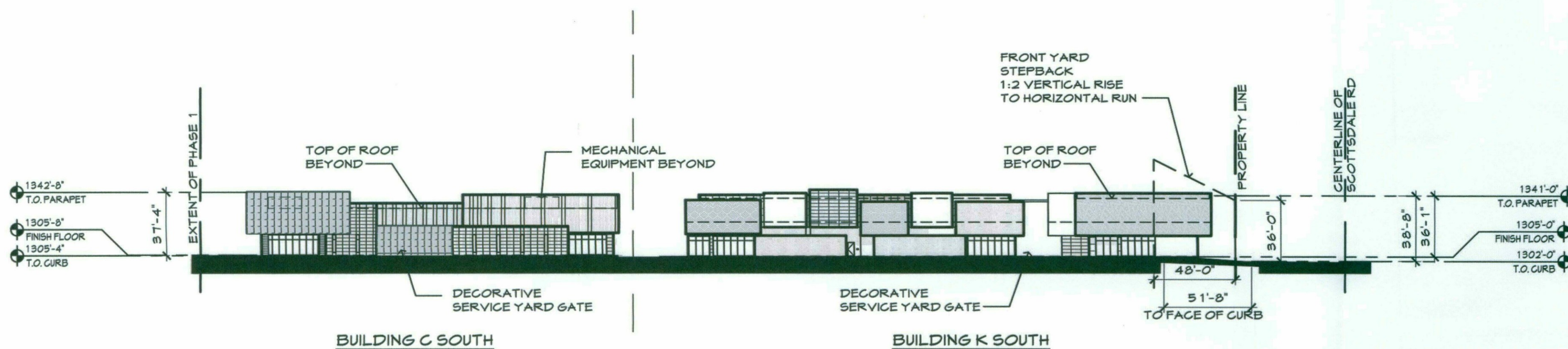


SCOTTSDALE RD.
OVERALL EAST ELEVATION

03

SCALE: 1"=50'

REF:

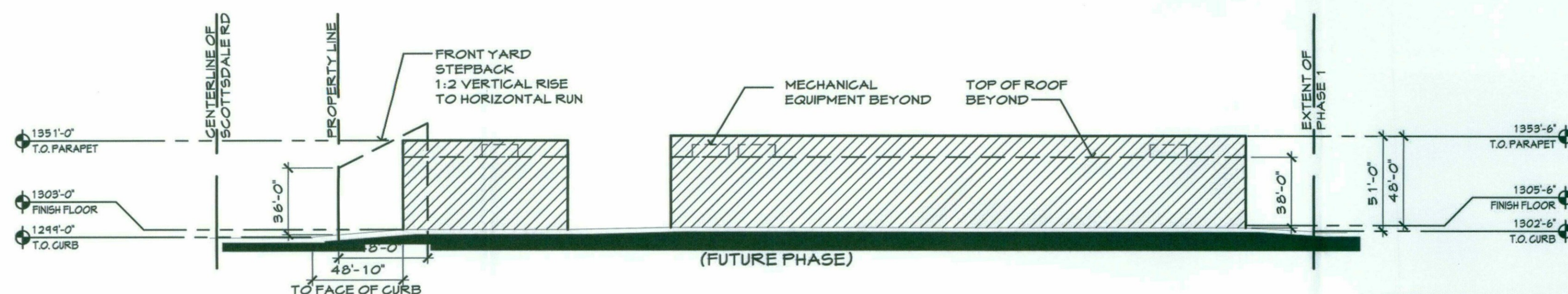


6750 NORTH
OVERALL SOUTH ELEVATION

02

SCALE: 1"=50'

REF:

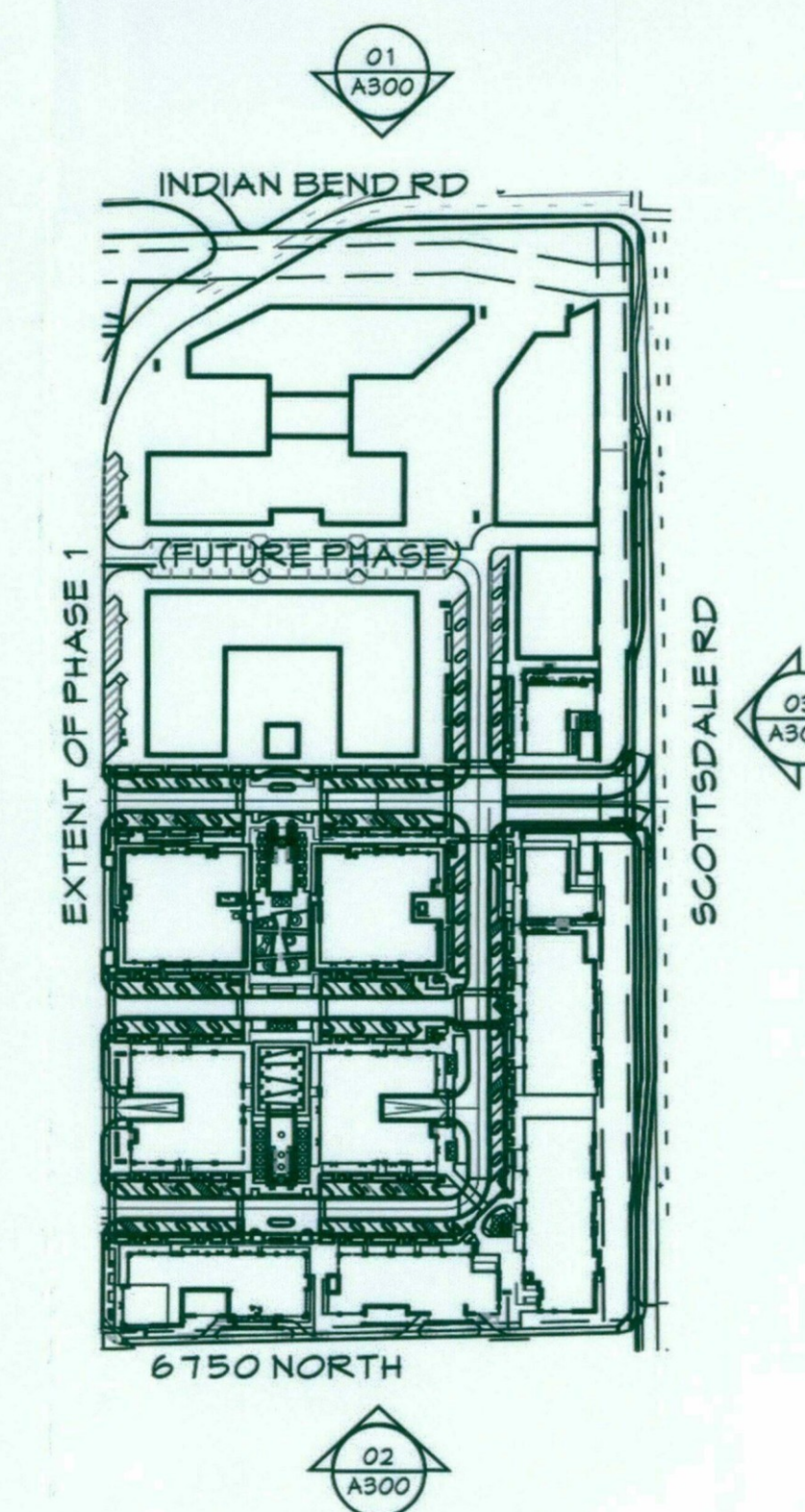


INDIAN BEND RD.
OVERALL NORTH ELEVATION

01

SCALE: 1"=50'

REF:



ELEVATION KEY PLAN